

COMMERCIAL DEVELOPMENT PLAN FOR
PENROSE RV & BOAT STORAGE
COMMERCIAL RECREATIONAL VEHICLE AND BOAT STORAGE FACILITY


CIVIL RESOURCES
8308 COLORADO BLVD
SUITE 200
FIRESTONE, CO 80530
303.833.1416
WWW.CIVILRESOURCES.COM


650 INNOVATION CIRCLE
PO BOX 200
WINDSOR, CO 80550

COMMERCIAL DEVELOPMENT PLAN
LOT 2 COYLE-VANEGMOND LOT LINE
ADJUSTMENT
PENROSE, FREMONT COUNTY, CO

REVISIONS		
NO.	DESCRIPTION	DATE
01	PLANNING REVIEW	05/17/24
02	PLANNING REVIEW	06/21/24
03	PLANNING REVIEW	10/04/24
04	PLANNING REVIEW	12/07/25
05	PLANNING REVIEW	01/17/25

DESIGNED BY: BJJ DATE: 02/13/24
DRAWN BY: BJJ SCALE: AS NOTED
CHECKED BY: JAB AS NOTED
JOB NO.: 355.001.02
DWG NAME: 355.001.02_CVR.dwg

COVER

SHEET:
C1.0

PROJECT TEAM

OWNER

EPCOCO REI ONE, LLC.
JOHN EDGAR
3455 FILLMORE RIDGE HEIGHTS
COLORADO SPRINGS, CO 80907

CIVIL ENGINEER

JAMES A. BRZOSTOWICZ, P.E.
CIVIL RESOURCES, LLC.
8308 COLORADO BLVD., SUITE 200
FIRESTONE, CO 80504
303.833.1416 EXT. 203

ARCHITECT

CURTIS KOLDEWAY, NCARB
HAUSER ARCHITECTS
3780 E. 15TH ST., SUITE 201
LOVELAND, CO 80538
970.669.8220

GENERAL CONTRACTOR

MCCAULEY CONSTRUCTORS
650 INNOVATION CIR.
PO BOX 200
WINDSOR, CO 80550
970.686.6300



PROJECT VICINITY MAP

SCALE: 1" = 1000 UNITS



LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED WITHIN A PORTION OF THE NW 1/4 OF SECTION 28, TOWNSHIP 18 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF FREMONT, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 2, COYLE-VANEGMOND LOT LINE ADJUSTMENT, ACCORDING TO THE RECORDED PLAT THEREOF, FILED FOR RECORD ON JANUARY 23, 1996 IN BOOK 1237 PAGE 531, AS RECEPTION NO. 642721 IN THE RECORDS OF THE PUEBLO COUNTY CLERK AND RECORDER, COUNTY OF PUEBLO, STATE OF COLORADO.

BENCHMARK:

MAG NAIL (CONTROL POINT NO. 500), ASSUMED ELEVATION=5507.88'.

SURVEY NOTE:

ALL TOPOGRAPHIC AND SURVEY DATA PROVIDED BY CARDINAL POINTS SURVEYING INC., DATED 8-17-2023.

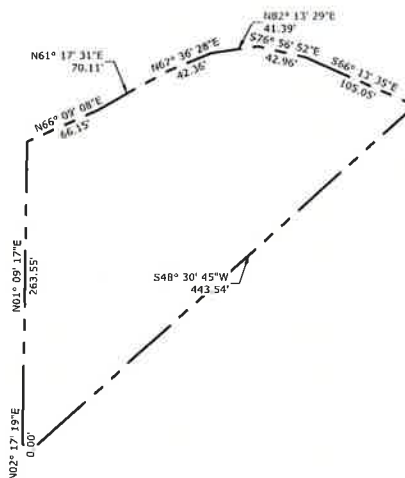
PROJECT DESCRIPTION:

THIS PROJECT PROPOSES TO DEVELOP THE SUBJECT PROPERTY INTO AN INDOOR MINI-STORAGE FACILITY FOR RECREATIONAL VEHICLES, BOATS, AND SIMILAR USES.

LOT 2	
AREA (SF)	59,183
AREA (AC)	1.36
ZONE DISTRICT	B-BUSINESS
LAND USE	STORAGE FACILITY

ADJOINING PROPERTIES		
	ZONE DISTRICT	LAND USE
NORTH	B-BUSINESS	BUSINESS
EAST	AR-AGRICULTURAL RURAL	UNDEVELOPED
SOUTH	AL-AGRICULTURAL LIVING	UNDEVELOPED
WEST	AR-AGRICULTURAL RURAL	AUTOMOTIVE/TRUCKING COMPANY

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C1.0	COVER
C2.0	EXISTING CONDITIONS PLAN
C3.0	SITE PLAN
C3.1	CDOT ACCESS PLAN
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C6.0	DRAINAGE PLAN
C7.0	INITIAL EROSION CONTROL PLAN
C7.1	INTERIM-FINAL EROSION CONTROL PLAN
C8.0	DETAILS 1
C8.1	DETAILS 2
C8.2	DETAILS 3
C8.3	DETAILS 4



PROPERTY / COMMERCIAL
DEVELOPMENT BOUNDARY

SCALE: 1" = 80 UNITS



811
KNOW WHAT'S BELOW
CALL BEFORE YOU DIG

PREPARED FOR:

MCCAULEY CONSTRUCTORS
605 INNOVATION CIRCLE
PO BOX 200
WINDSOR, CO 80550

PREPARED BY:

CIVIL RESOURCES, LLC
8308 COLORADO BLVD
SUITE 200
FIRESTONE, CO 80530
303 833 1416

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LEGEND

EXISTING

PROPERTY LINE	---
MAJOR CONTOUR	---5740---
MINOR CONTOUR	---5736---
EASEMENT	---
EASEMENT CENTERLINE	---
FENCE/GUARDRAIL	---
BUILDING	[Rectangle]
SWALE CENTERLINE	---
WATER LINE	---
STORM SEWER	---
TELECOM	---
OVERHEAD WIRES	---
UTILITY POLE	---
UTILITY MARKER POST	---

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REVISIONS

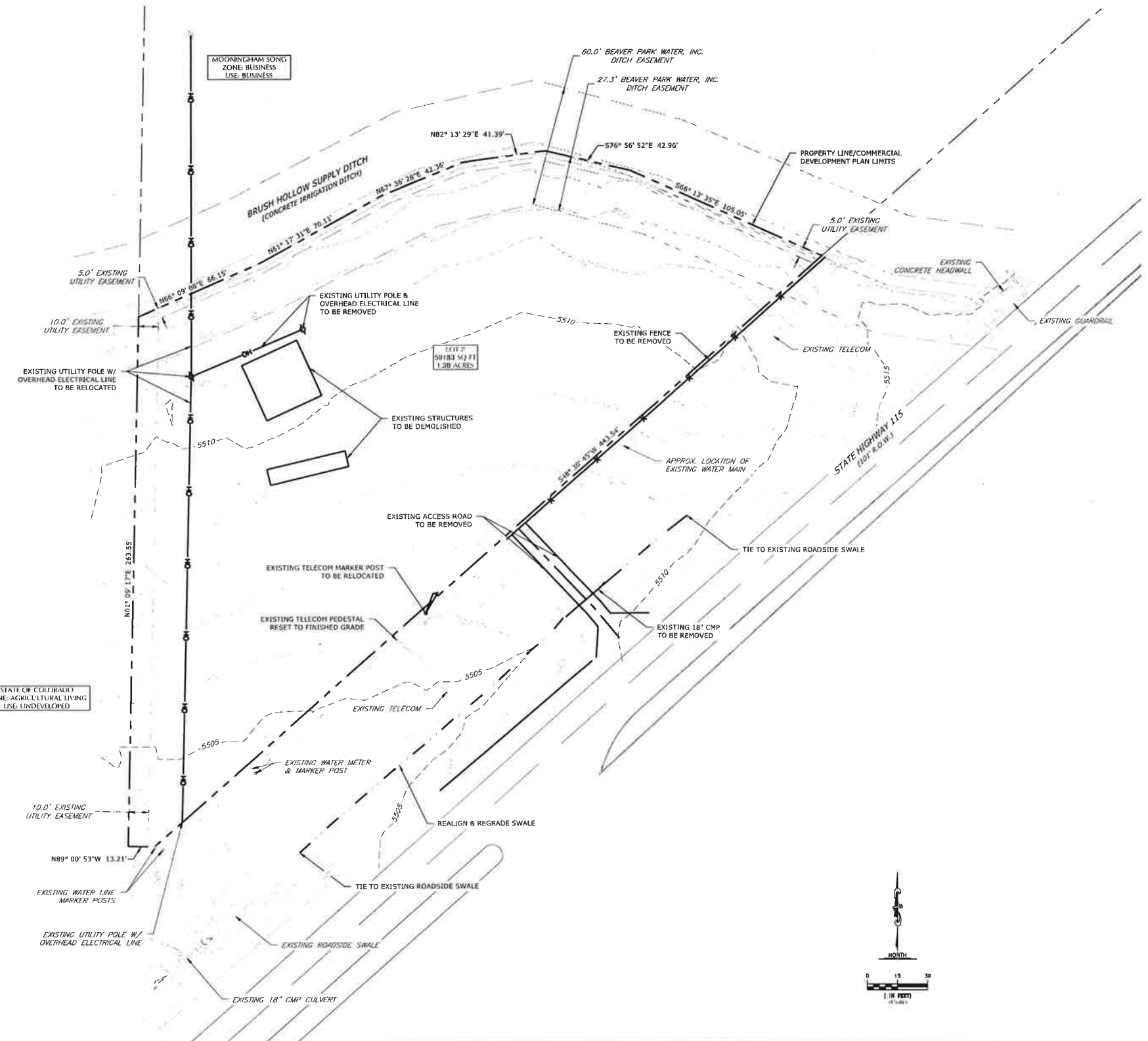
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DESIGNED BY: RJJ DATE: 02/13/24
DRAWN BY: RJJ SCALE: 1"=30'
CHECKED BY: JAB
JOB NO.: 355.001.02
DWG NAME: 355.001.02_EX.SP.dwg

**EXISTING
CONDITIONS PLAN**

SHEET:

C2.0



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SITE PLAN

C3.0



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LEGEND

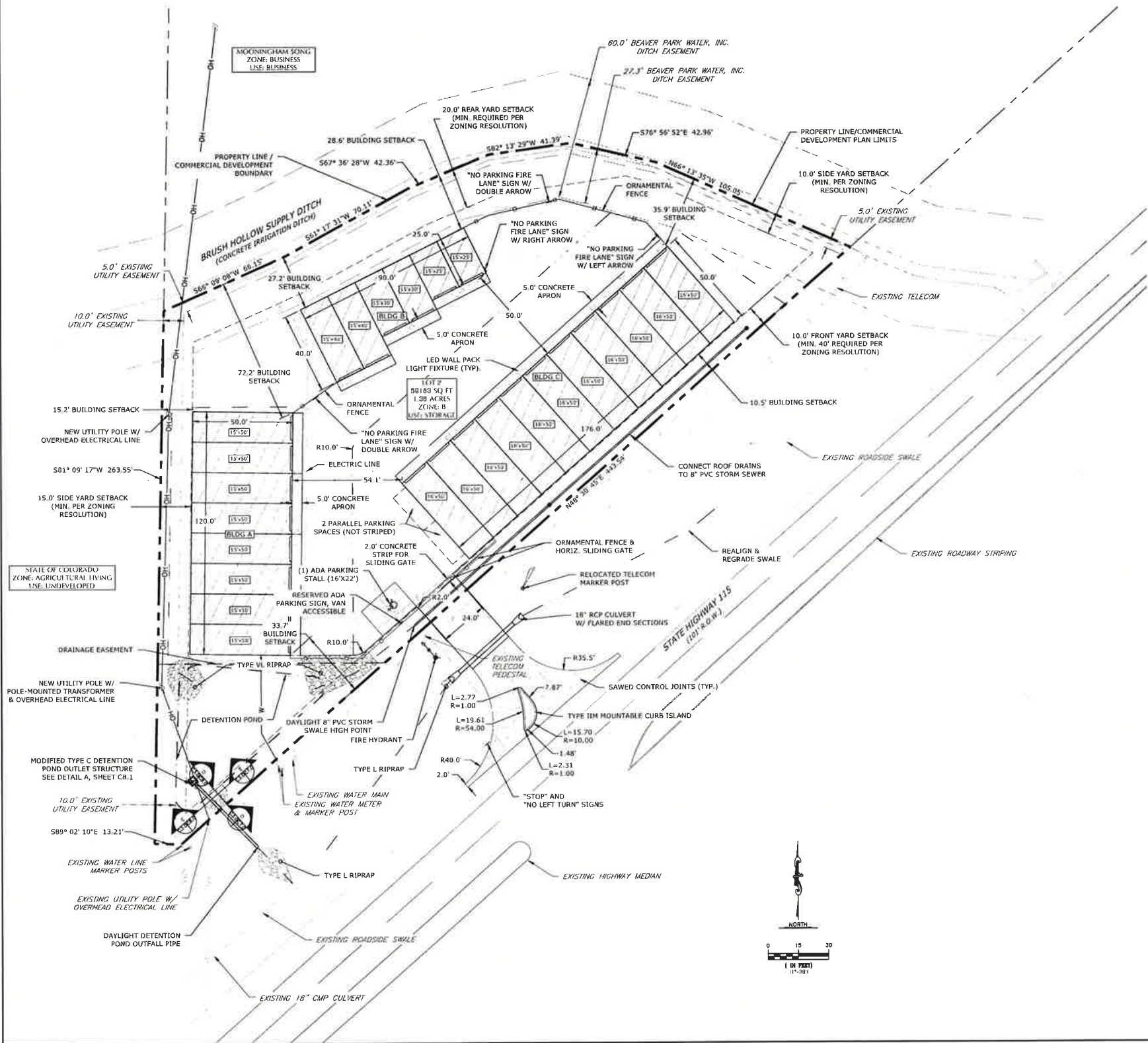
PROPOSED	EXISTING
	PROPERTY LINE / COMMERCIAL DEVELOPMENT PLAN BOUNDARY
	MAJOR CONTOUR
	MINOR CONTOUR
	EASEMENT
	EASEMENT CENTERLINE
	SETBACK
	FENCE/GUARDRAIL
	ROAD BASE (6" MIN. THICKNESS)
	ASPHALT
	6" THICK CONCRETE
	PRE-ENGINEERED METAL BUILDING
	SWALE CENTERLINE
	STORM SEWER
	TELECOM
	OVERHEAD WIRES
	UTILITY POLE
	UTILITY MARKER POST
	SIGN

BUILDING SUMMARY				
BUILDING	USE	HEIGHT	LENGTH	WIDTH
A	MINI-STORAGE	20'-4"	50'	120'
B	MINI-STORAGE	19'-5"	40'	90'
C	MINI-STORAGE	20'-4"	50'	176'

DEVELOPMENT REQUIREMENTS		
	REQUIRED	PROVIDED
MIN. LOT AREA	7,500 SF	59,183 SF
MAX. LOT COVERAGE	65%	28%
MIN. LOT WIDTH	75'	406'
MAX. BUILDING HEIGHT	50'	20'-4"
MIN. SETBACKS*		
FRONT	40'	10.5'
REAR	20'	27.2'
SIDE (NORTHEAST)	10'	35.9'
SIDE (WEST)	15'	15.2'

NOTES:

- IDENTIFICATION SIGNAGE TO BE BUILDING-MOUNTED ON BUILDING C. REFER TO ARCHITECTURAL ELEVATION FOR SIGNAGE TYPE, LOCATION, AND ILLUMINATION.
- NO DOMESTIC WATER OR SANITARY SEWER SERVICE IS PROVIDED FOR TENANT OR PUBLIC USE.
- A LOCKING HOSE BIBB IS PROVIDED FOR OWNER MAINTENANCE ONLY.
- NO TRASH RECEPTACLES ARE PROVIDED FOR OWNER OR TENANT USE.
- NO OFF-STREET LOADING AREAS ARE PROVIDED FOR OWNER OR TENANT USE.



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CDOT ACCESS PLAN

SHEET:

C3.1

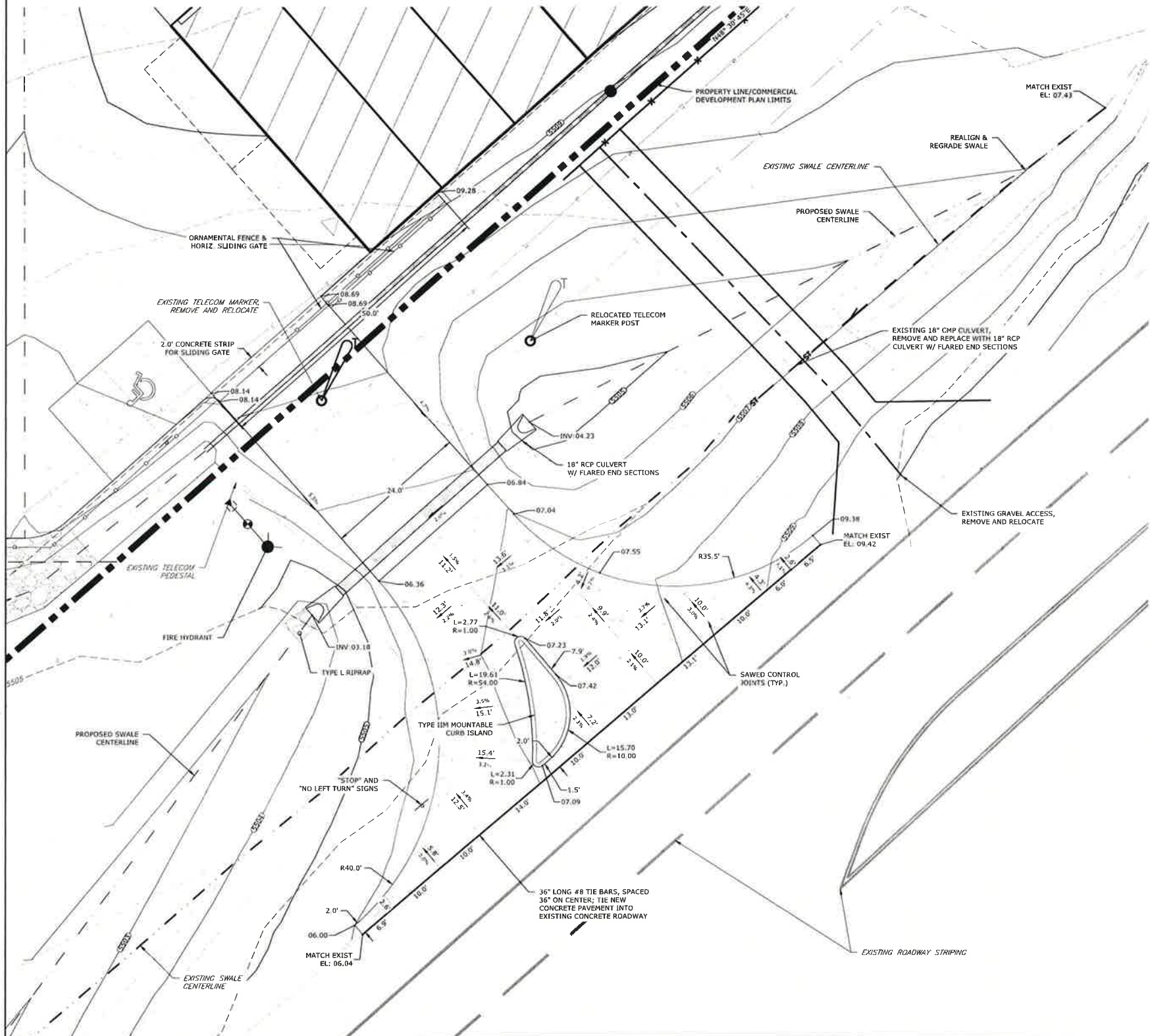
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LEGEND

PROPOSED		EXISTING
	PROPERTY LINE	
	MAJOR CONTOUR	
	MINOR CONTOUR	
	EASEMENT	
	EASEMENT CENTERLINE	
	SETBACK	
	FENCE	
	ROAD BASE (6" MIN. THICKNESS)	
	6" THICK CONCRETE	
	PRE-ENGINEERED METAL BUILDING	
	SWALE CENTERLINE	
	STORM SEWER	
	TELECOM	
	OVERHEAD WIRES	
	UTILITY POLE	
	UTILITY MARKER POST	
	SIGN	
	FLOW DIRECTION	



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LEGEND

PROPOSED		EXISTING
	PROPERTY LINE	
	MAJOR CONTOUR	
	MINOR CONTOUR	
	EASEMENT	
	EASEMENT CENTERLINE	
	SETBACK	
	FENCE/GUARDRAIL	
	ROAD BASE	
	ASPHALT	
	CONCRETE	
	PRE-ENGINEERED METAL BUILDING	
	SWALE CENTERLINE	
	STORM SEWER	
	OVERHEAD WIRES	
	SLOPE & FLOW DIRECTION	
	SPOT ELEVATION	
	MATCH EXISTING ELEVATION	
	FINISHED FLOOR ELEVATION	

NOTE:
1. SITE SOILS CAN BE CLASSIFIED AS HYDROLOGIC SOIL GROUP B. SOIL GROUP B IS CHARACTERIZED AS HAVING MODERATE INFILTRATION RATES WHEN THOROUGHLY WET, A MODERATE RATE OF WATER TRANSMISSION, AND CONSISTING OF MODERATELY DEEP TO DEEP, MODERATELY WELL DRAINED OR WELL DRAINED SOILS THAT HAVE MODERATELY FINE TEXTURE TO MODERATELY COARSE TEXTURE. REFER TO DRAINAGE REPORT FOR ADDITIONAL INFORMATION.

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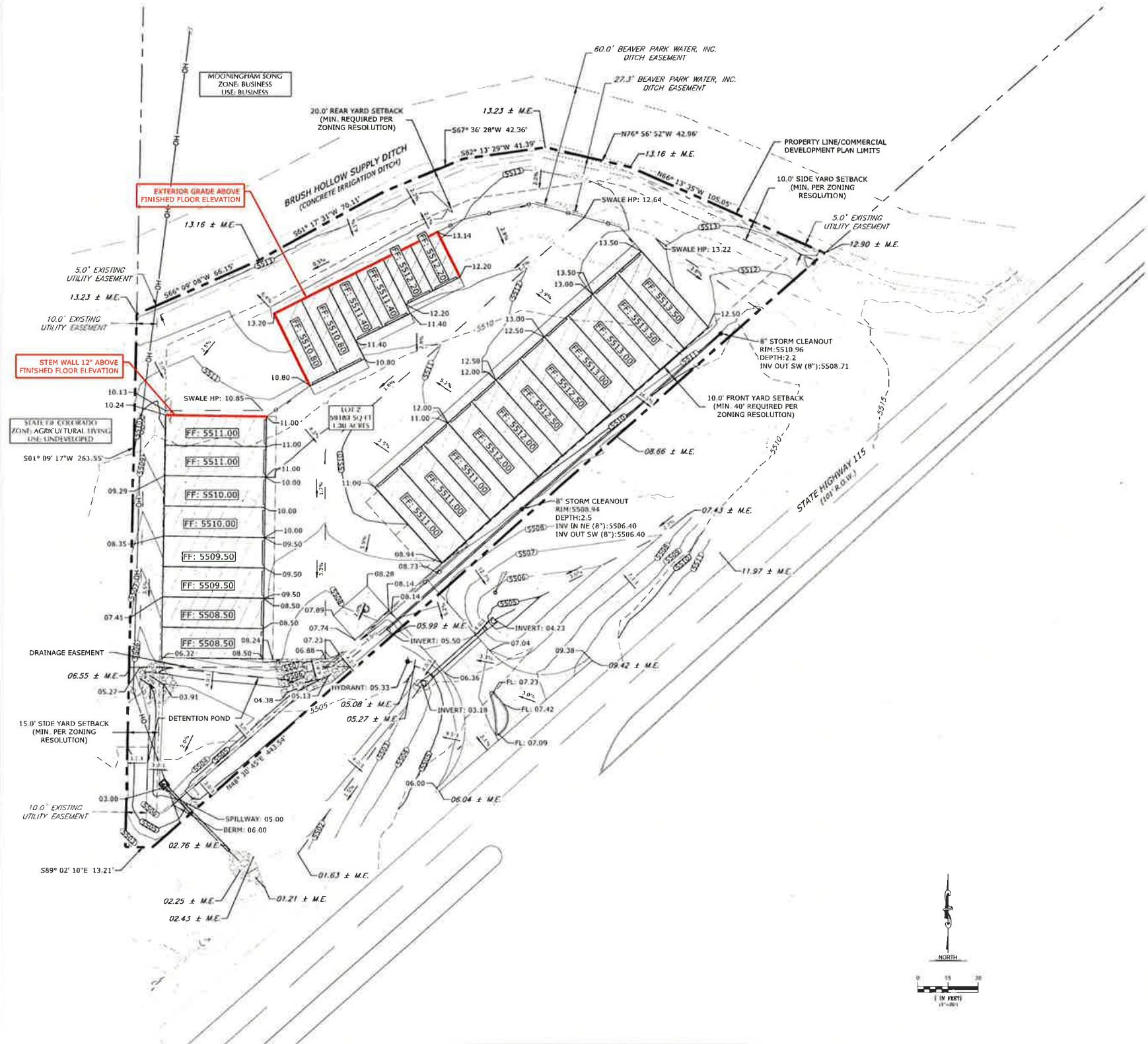
DESIGNED BY: RJJ DATE: 02/13/24
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CHECKED BY: JAB
JOB NO.: 355.001.02
DWG NAME: 355.001.02_GP.dwg







































GRADING PLAN

SHEET:
C4.0



Know what's below.
Call before you dig.



PROPOSED		EXISTING
	PROPERTY LINE	
	EASEMENT	
	EASEMENT CENTERLINE	
	SETBACK	
	FENCE/GUARDRAIL	
	ROAD BASE	
	ASPHALT	
	CONCRETE	
	PRE-ENGINEERED METAL BUILDING	
	SWALE CENTERLINE	
	STORM SEWER	
	WATER LINE	
	TELECOM	
	OVERHEAD WIRES	
	UNDERGROUND ELECTRIC	
	UTILITY POLE	
	UTILITY MARKER POST	
	SIGN	
	FLARED END SECTION	

COMMERCIAL DEVELOPMENT PLAN FOR PENROSE RV & BOAT STORAGE COMMERCIAL RECREATIONAL VEHICLE AND BOAT STORAGE FACILITY



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DRAWN BY: RJJ SCALE: 1"=30'
CHECKED BY: JAB
JOB NO.: 355-001-02
DWG NAME: 355-001-02_DRP.dwg

DRAINAGE PLAN

SHEET:

C6.0



Know what's below.
Call before you dig.

NOTE:
DURING MAJOR 100-YR STORM, PROPERTY WILL ACCEPT
FLOWS FROM OS-4. REFER TO DRAINAGE REPORT.

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LEGEND

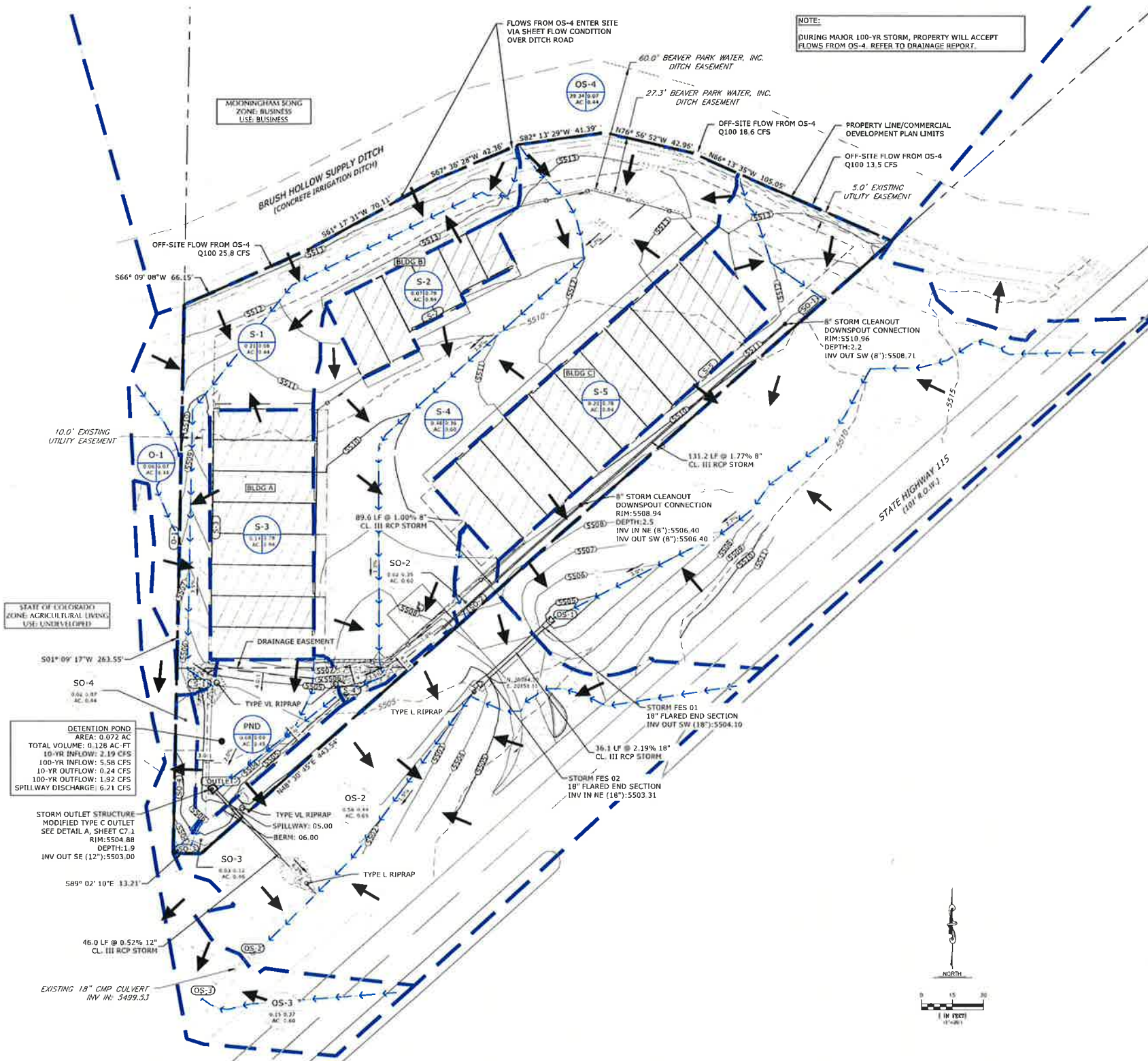
PROPOSED		EXISTING
---	PROPERTY LINE	---
---	MAJOR CONTOUR	---
---	MINOR CONTOUR	---
---	EASEMENT	---
---	SETBACK	---
---	FENCE/GUARDRAIL	---
---	ROAD BASE	---
---	ASPHALT	---
---	CONCRETE	---
---	PRE-ENGINEERED METAL BUILDING	---
---	SWALE CENTERLINE	---
---	STORM SEWER	---
---	SLOPE & FLOW DIRECTION	---
---	DRAINAGE BASIN BOUNDARY	---
---	DRAINAGE BASIN FLOW PATH	---
---	DRAINAGE BASIN DESIGN POINT	---
---	DRAINAGE BASIN IDENTIFICATION	---
---	RUNOFF COEFFICIENTS (10-YR & 100-YR)	---
---	DRAINAGE BASIN AREA (ACRES)	---

NOTE:

- SITE SOILS CAN BE CLASSIFIED AS HYDROLOGIC SOIL GROUP B. SOIL GROUP B IS CHARACTERIZED AS HAVING
MODERATE INFILTRATION RATES WHEN THOROUGHLY WET, A MODERATE RATE OF WATER TRANSMISSION, AND
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MODERATELY FINE TEXTURE TO MODERATELY COARSE TEXTURE. REFER TO DRAINAGE REPORT FOR ADDITIONAL
INFORMATION.
- FOR THE OPERATIONS AND MAINTENANCE OF PERMANENT STORMWATER CONTROL MEASURES, REFER TO
APPENDIX E OF THE DRAINAGE REPORT.

RUNOFF SUMMARY TABLE						
Sub-Basin I.D.	Design Point	Total Area (ac)	Weighted Imperviousness (%)	Runoff Coefficient "C" 10-Year	Runoff Coefficient "C" 100-Year	Runoff 10-Year (cfs)
OS-1	OS-1	0.64	32.1	0.32	0.58	0.57
OS-2	OS-2	0.56	47.9	0.44	0.65	1.11
OS-3	OS-3	0.15	38.5	0.37	0.60	0.25
OS-4	OS-4	39.34	2.0	0.07	0.44	5.07
SO-1	SO-1	0.12	2.0	0.07	0.44	0.04
SO-2	SO-2	0.02	36.6	0.35	0.60	0.02
SO-3	SO-3	0.03	8.1	0.12	0.46	0.01
SO-4	SO-4	0.02	2.0	0.07	0.44	0.01
OFF-SITE TOTAL	OFF-SITE	40.9	3.3	0.08	0.44	7.18
S-1	S-1	0.21	2.7	0.08	0.44	0.05
S-2	S-2	0.07	90.0	0.78	0.84	0.23
S-3	S-3	0.14	90.0	0.78	0.84	0.48
S-4	S-4	0.48	38.3	0.36	0.60	0.59
S-5	S-5	0.20	90.0	0.78	0.84	0.70
PND	OUTLET	0.08	4.1	0.09	0.45	0.03
O-1	O-1	0.08	2.0	0.07	0.44	0.02
POND TOTAL	PND	1.24	45.0	0.42	0.64	2.11
Total		42.12	4.5	0.09	0.45	9.29

Table 6-5 (USDCM) along with the weighted imperviousness for each basin was used to find the composite "C" runoff coefficient
Q = CIA



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INITIAL EROSION
CONTROL PLAN

SHEET:

C7.0

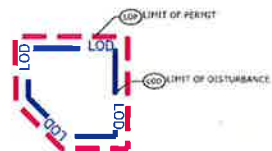
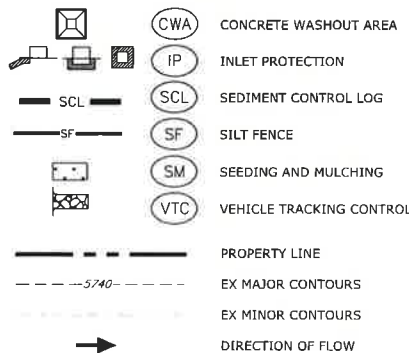


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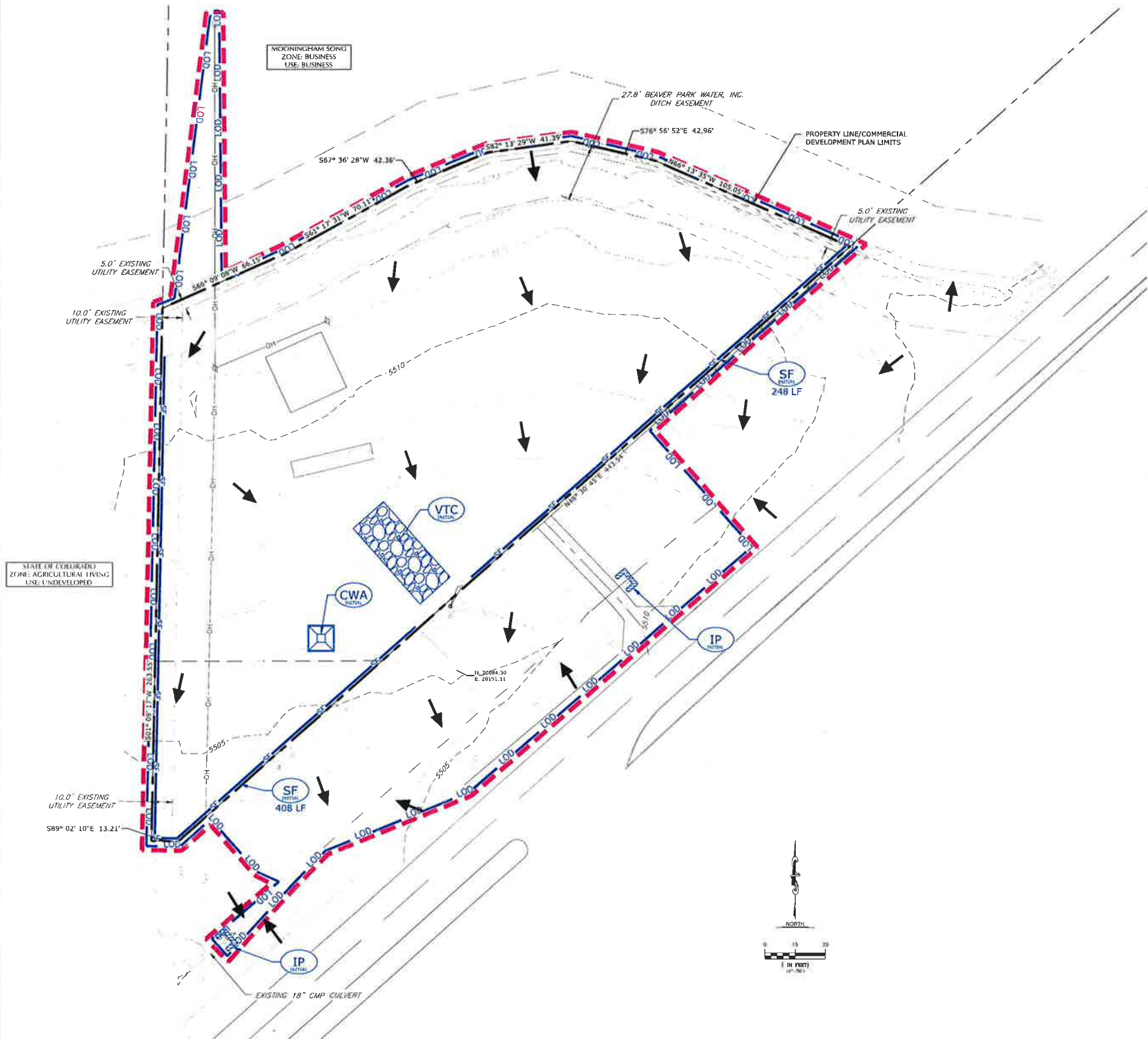
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BMP LEGEND



NOTES:

1. LIMIT OF DISTURBED AREA: 1.93 AC
2. LIMIT OF PERMIT AREA: 2.01 AC
3. SEE SHEETS C8.1 THROUGH C8.3 FOR EROSION CONTROL DETAILS
4. SITE SOILS CAN BE CLASSIFIED AS HYDROLOGIC SOIL GROUP B. SOIL GROUP B IS CHARACTERIZED AS HAVING MODERATE INFILTRATION RATES WHEN THOROUGHLY WET, A MODERATE RATE OF WATER TRANSMISSION, AND CONSISTING OF MODERATELY DEEP TO DEEP, MODERATELY WELL DRAINED OR WELL DRAINED SOILS THAT HAVE MODERATELY FINE TEXTURE TO MODERATELY COARSE TEXTURE. REFER TO DRAINAGE REPORT FOR ADDITIONAL INFORMATION.



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INTERIM-FINAL
EROSION CONTROL
PLAN

SHEET:

C7.1



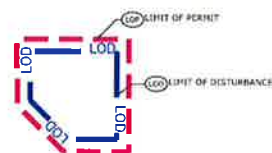
LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED WITHIN A PORTION OF THE NW 1/4 OF SECTION 28, TOWNSHIP 18 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF FREMONT, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 2, COYLE-VANEGMOND LOT LINE ADJUSTMENT, ACCORDING TO THE RECORDED PLAT THEREOF, FILED FOR RECORD ON JANUARY 23, 1996 IN BOOK 1237 PAGE 531, AS RECEPTION NO. 642721 IN THE RECORDS OF THE PUEBLO COUNTY CLERK AND RECORDER, COUNTY OF PUEBLO, STATE OF COLORADO.

BMP LEGEND

- | | | |
|--|---------------------|--------------------------|
| | CWA | CONCRETE WASHOUT AREA |
| | IP | INLET PROTECTION |
| | SCL | SEDIMENT CONTROL LOG |
| | SF | SILT FENCE |
| | SM | SEEDING AND MULCHING |
| | VTC | VEHICLE TRACKING CONTROL |
| | PROPERTY LINE | |
| | EX MAJOR CONTOURS | |
| | EX MINOR CONTOURS | |
| | PROP MAJOR CONTOURS | |
| | PROP MINOR CONTOURS | |
| | DIRECTION OF FLOW | |



NOTES:

- LIMIT OF DISTURBED AREA: 1.93 AC
- LIMIT OF PERMIT AREA: 2.01 AC
- SEE SHEETS C8.1 THROUGH C8.3 FOR EROSION CONTROL DETAILS
- SITE SOILS CAN BE CLASSIFIED AS HYDROLOGIC SOIL GROUP B. SOIL GROUP B IS CHARACTERIZED AS HAVING MODERATE INFILTRATION RATES WHEN THOROUGHLY WET, A MODERATE RATE OF WATER TRANSMISSION, AND CONSISTING OF MODERATELY DEEP TO DEEP, MODERATELY WELL DRAINED OR WELL DRAINED SOILS THAT HAVE MODERATELY FINE TEXTURE TO MODERATELY COARSE TEXTURE. REFER TO DRAINAGE REPORT FOR ADDITIONAL INFORMATION.





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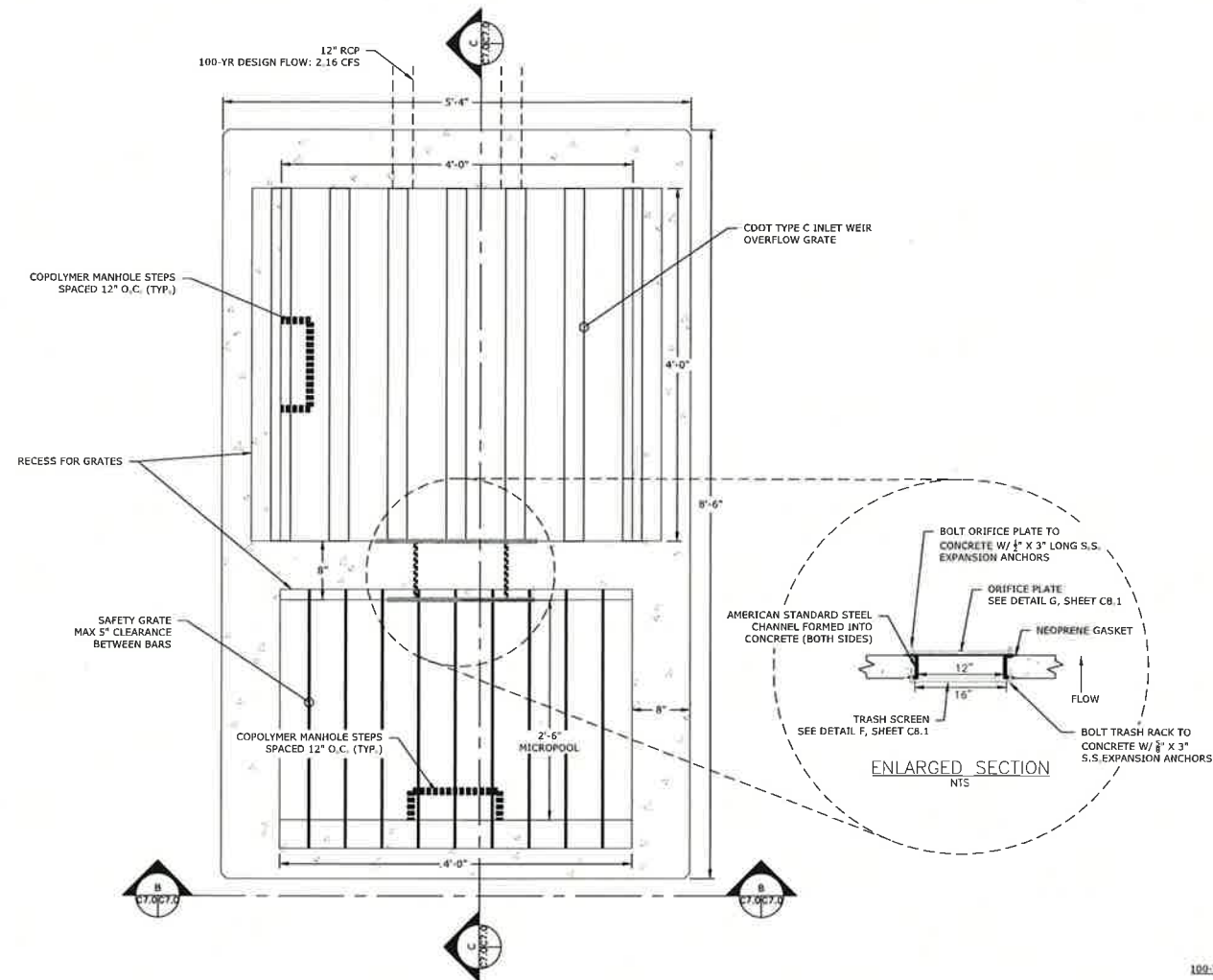
COMMERCIAL DEVELOPMENT PLAN
LOT 2 COYLE-VANEGMOND LOT LINE
ADJUSTMENT
PENROSE, FREMONT COUNTY, CO

REVISIONS		
NO.	DESCRIPTION	DATE
03	PLANNING REVIEW	10/04/24

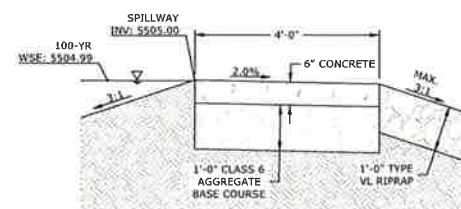
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DRAWN BY: RJJ SCALE: AS NOTED
CHECKED BY: JAB AS NOTED
JOB NO.: 355.001.02
DWG NAME: 355.001.02_CVB.dwg

DETAILS 1

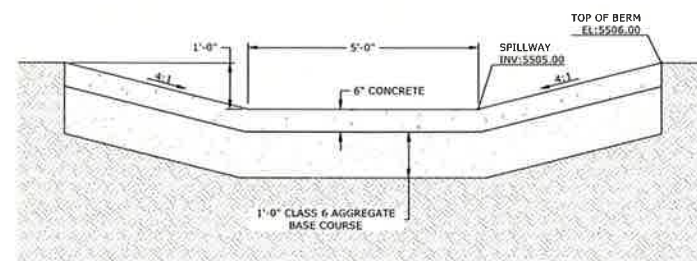
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C8.0



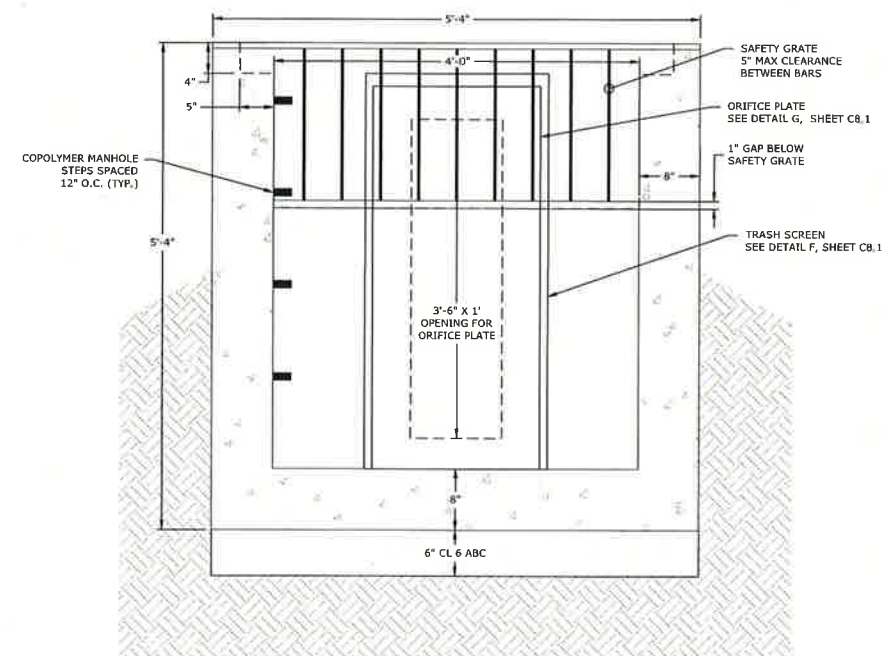
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(IN FEET)



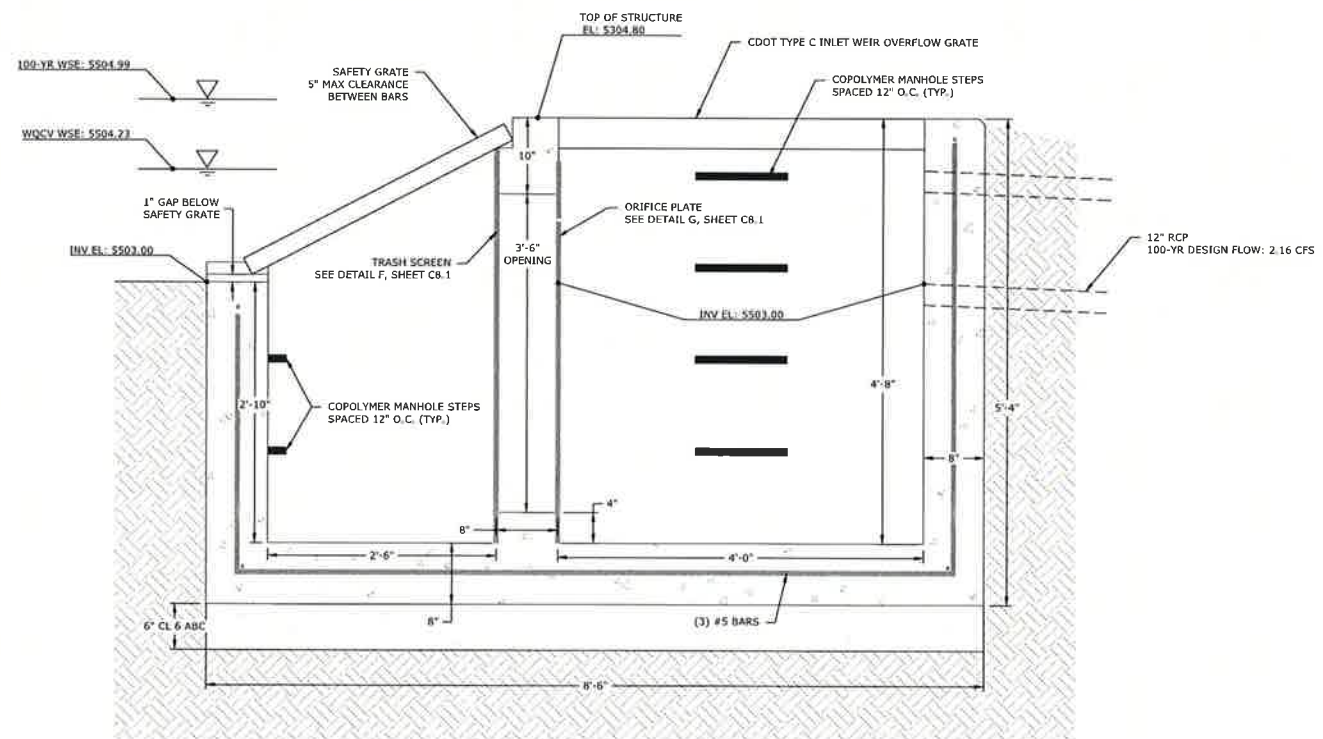
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(IN FEET)



E-E EMERGENCY SPILLWAY LONGITUDINAL SECTION
1
(IN FEET)



B-B OUTLET STRUCTURE LONGITUDINAL SECTION
0.5
(IN FEET)



C-C OUTLET STRUCTURE CROSS SECTION
0.5
(IN FEET)



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COMMERCIAL DEVELOPMENT PLAN
LOT 2 COYLE-VANEGMOND LOT LINE
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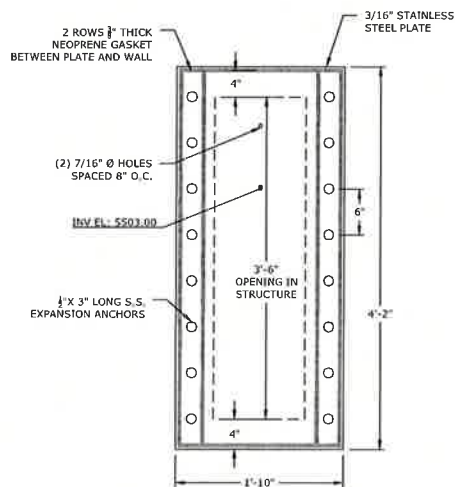
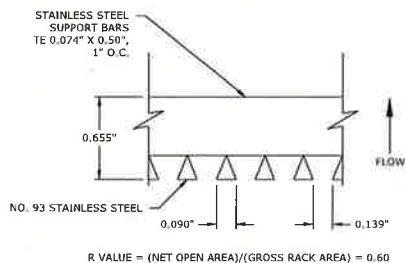
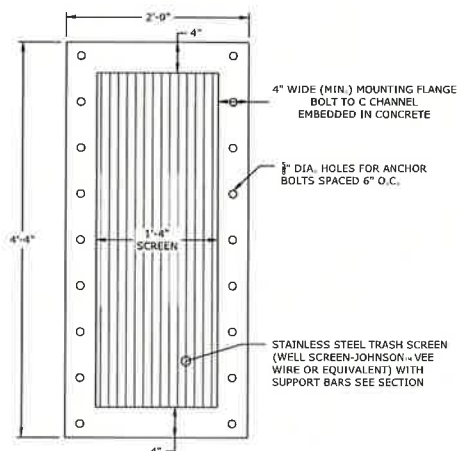
REVISIONS		
NO.	DESCRIPTION	DATE
03	PLANNING REVIEW	10/04/24

DESIGNED BY: RJJ DATE: 02/13/24
DRAWN BY: RJJ SCALE: AS NOTED
CHECKED BY: JAB AS NOTED
JOB NO.: 355.001.02
DWG NAME: 355.001.02_CVR.dwg

DETAILS 2

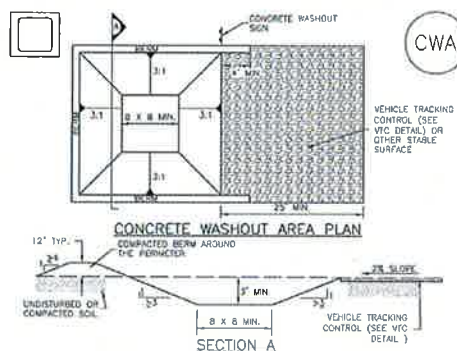
SHEET:

C8.1



Concrete Washout Area (CWA)

MM-1



CWA-1. CONCRETE WASHOUT AREA

CWA INSTALLATION NOTES

- SEE PLAN VIEW FOR CWA INSTALLATION LOCATION.
- DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS UNFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
- THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8" BY 8" SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER THE PIT SHALL BE AT LEAST 3' DEEP.
- BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
- USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

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Urban Storm Drainage Criteria Manual Volume 3 CWA-3

MM-1

Concrete Washout Area (CWA)

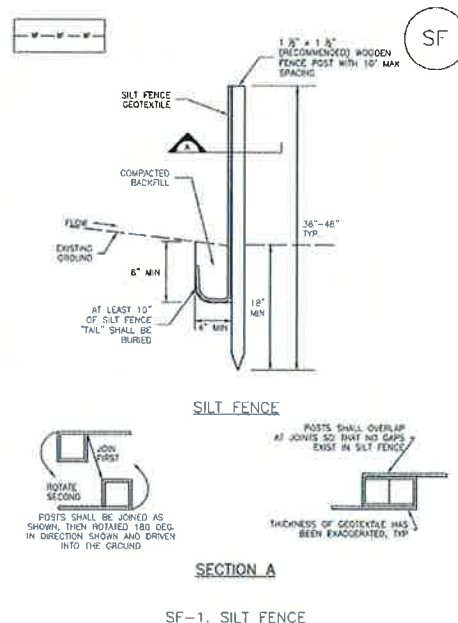
CWA MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE, CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
 - CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
 - THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
 - WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
- (DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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Urban Storm Drainage Criteria Manual Volume 3 CWA-4

Silt Fence (SF)

SC-1



SF-1. SILT FENCE

November 2010 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 SF-3

SC-1

Silt Fence (SF)

SILT FENCE INSTALLATION NOTES

- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
- A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE, NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
- COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
- AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK". THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
- SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

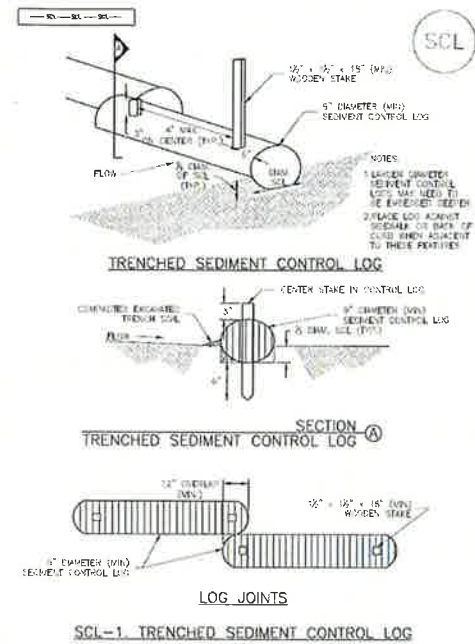
SILT FENCE MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENT IS APPROXIMATELY 6".
 - REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
 - SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
 - WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDS AND MULCH OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.
- (DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD)
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

November 2010 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 SF-4

Sediment Control Log (SCL)

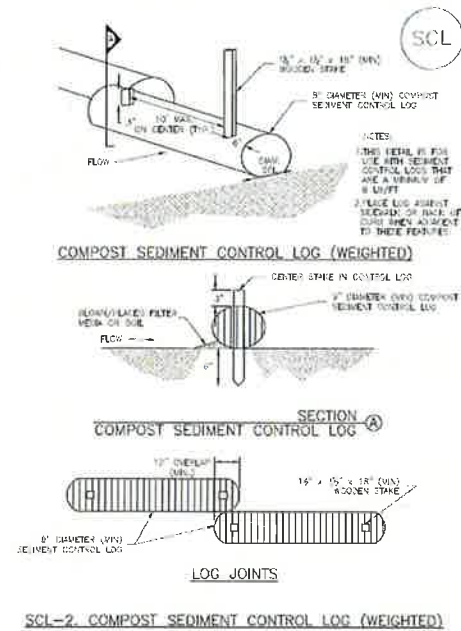
SC-2



November 2015 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 SCL-3

Sediment Control Log (SCL)

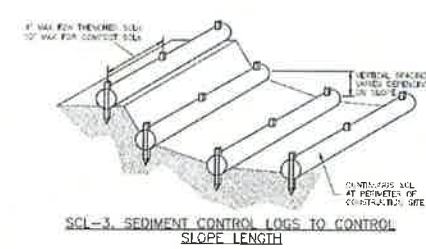
SC-2



SCL-4 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 November 2015

Sediment Control Log (SCL)

SC-2



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Urban Storm Drainage Criteria Manual Volume 3 SCL-5

Sediment Control Log (SCL)

SC-2

- SEDIMENT CONTROL LOG INSTALLATION NOTES**
1. SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOGS.
 2. SEDIMENT CONTROL LOGS THAT ACT AS A PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO ANY UPGRADE LAND-DISTURBING ACTIVITIES.
 3. SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELLENT OR ON COCOFUT FIBER, AND SHALL BE FREE OF ANY TOXIC WEED SEEDS OR OBJECTS INCLUDING NAILS, HOLES AND OBVIOUS WEAR.
 4. SEDIMENT CONTROL LOGS MAY BE USED AS SMALL CHECK DAMS IN DITCHES AND SWALES; HOWEVER, THEY SHOULD NOT BE USED IN PERENNIAL STREAMS.
 5. IT IS RECOMMENDED THAT SEDIMENT CONTROL LOGS BE TRENCHED INTO THE GROUND TO A DEPTH OF APPROXIMATELY 1/3 OF THE DIAMETER OF THE LOG. IF TRENCHING TO THIS DEPTH IS NOT FEASIBLE AND/OR DESIRABLE, SHORT TERM INSTALLATION WITH DESIRE NOT TO DAMAGE LANDSCAPE) A LESSER TRENCHING DEPTH MAY BE ACCEPTABLE WITH MORE ROBUST STAKING. COCOFUT LOGS THAT ARE 1/8" FT DO NOT NEED TO BE TRENCHED.
 6. THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL OR FILTER MATERIAL THAT IS FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE THOROUGHLY COMPACTED INTO THE SHAPE OF A RIGHT TRIANGLE USING A SHOVEL OR WEIGHTED LAWN ROLLER OR BLOWN IN PLACE.
 7. FOLLOW MANUFACTURERS' GUIDANCE FOR STAKING. IF MANUFACTURERS' INSTRUCTIONS DO NOT SPECIFY SPACING, STAKES SHALL BE PLACED ON 4' CENTERS AND EMBEDDED A MINIMUM OF 6" INTO THE GROUND. 3' OF THE STAKE SHALL PROTRUDE FROM THE TOP OF THE LOG. STAKES THAT ARE BROKEN PRIOR TO INSTALLATION SHALL BE REPLACED. COMPOST LOGS SHOULD BE STAKED 10' ON CENTER.
- SEDIMENT CONTROL LOG MAINTENANCE NOTES**
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 4. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOGS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/3 OF THE HEIGHT OF THE SEDIMENT CONTROL LOG.
 5. SEDIMENT CONTROL LOGS SHALL BE REMOVED AT THE END OF CONSTRUCTION. COMPOST FROM COMPOST LOGS MAY BE LEFT IN PLACE AS LONG AS BAGS ARE REMOVED AND THE AREA SEEDING. IF DISTURBED AREAS EXIST AFTER REMOVAL, THEY SHALL BE COVERED WITH TOP SOIL, SEEDING AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
- (DETAILS ADAPTED FROM TOWN OF PARKER, COLORADO, JEFFERSON COUNTY, COLORADO, DOUGLAS COUNTY, COLORADO, AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUSTIN)
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SCL-6 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 November 2015



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COMMERCIAL DEVELOPMENT PLAN
LOT 2 COYLE-VANEGMOND LOT LINE
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REVISIONS

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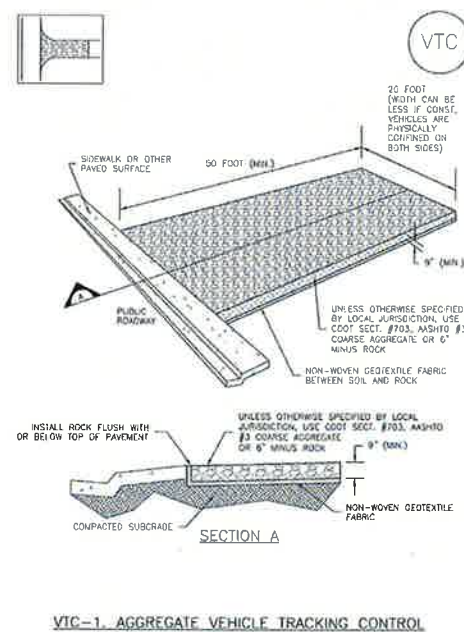
DETAILS 3

SHEET:

C8.2

Vehicle Tracking Control (VTC)

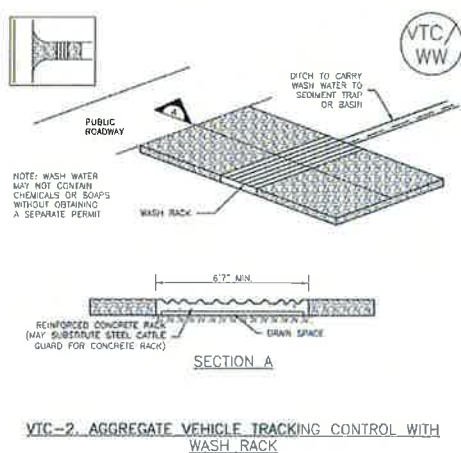
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November 2010 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 VTC-3

Vehicle Tracking Control (VTC)

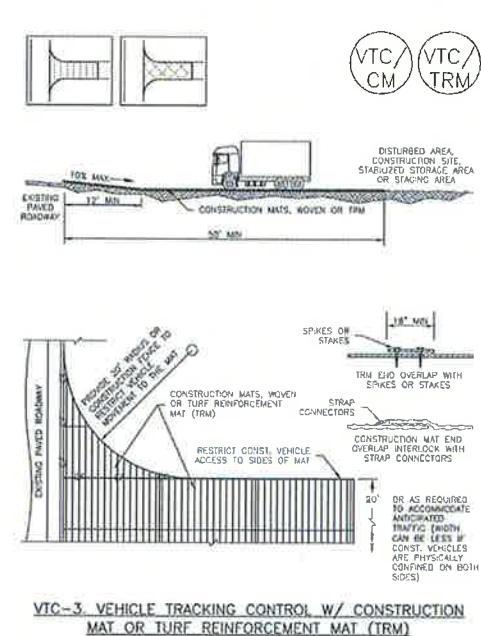
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VTC-4 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 November 2010

Vehicle Tracking Control (VTC)

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Urban Storm Drainage Criteria Manual Volume 3 VTC-5

Vehicle Tracking Control (VTC)

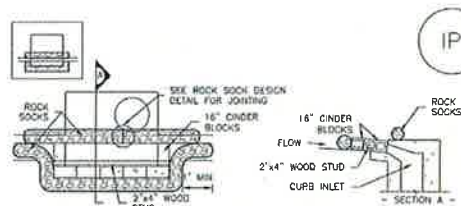
SM-4

- STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES**
1. SEE PLAN VIEW FOR LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).
 2. CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
 3. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
 4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
 5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
 6. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES**
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 4. ROCK SHALL BE REPLACED OR REGRADDED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DETAIL.
 5. SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
- (DETAILS ADAPTED FROM CITY OF BIRMINGHAM, ALABAMA, NOT AVAILABLE IN AUSTIN)

VTC-6 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 November 2010

SC-6

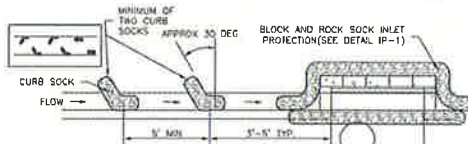
Inlet Protection (IP)



IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE INLET PROTECTION

BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES

1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW, ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
3. GRAVEL BAGS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.



IP-2. CURB ROCK SOCKS UPSTREAM OF INLET PROTECTION

CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES

1. SEE ROCK SOCK DESIGN DETAIL INSTALLATION REQUIREMENTS.
2. PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
3. SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
4. AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.

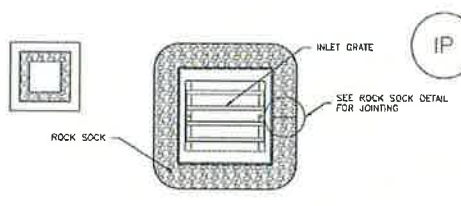
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Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

August 2013

Inlet Protection (IP)

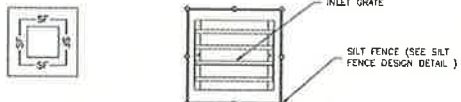
SC-6



IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION

ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES

1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. STRAW WATILES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.



IP-4. SILT FENCE FOR SUMP INLET PROTECTION

SILT FENCE INLET PROTECTION INSTALLATION NOTES

1. SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.
3. STRAW WATILES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

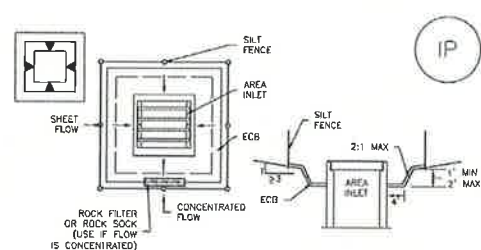
August 2013

Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

IP-5

SC-6

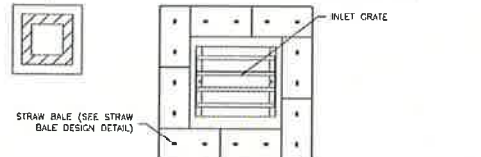
Inlet Protection (IP)



IP-5. OVEREXCAVATION INLET PROTECTION

OVEREXCAVATION INLET PROTECTION INSTALLATION NOTES

1. THIS FORM OF INLET PROTECTION IS PRIMARILY APPLICABLE FOR SITES THAT HAVE NOT YET REACHED FINAL GRADE AND SHOULD BE USED ONLY FOR INLETS WITH A RELATIVELY SMALL CONTRIBUTING DRAINAGE AREA.
2. WHEN USING FOR CONCENTRATED FLOWS, SHAPE BASIN IN 2:1 RATIO WITH LENGTH ORIENTED TOWARDS DIRECTION OF FLOW.
3. SEDIMENT MUST BE PERIODICALLY REMOVED FROM THE OVEREXCAVATED AREA.



IP-6. STRAW BALE FOR SUMP INLET PROTECTION

STRAW BALE BARRIER INLET PROTECTION INSTALLATION NOTES

1. SEE STRAW BALE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. BALES SHALL BE PLACED IN A SINGLE ROW AROUND THE INLET WITH ENDS OF BALES TIGHTLY ABUTTING ONE ANOTHER.

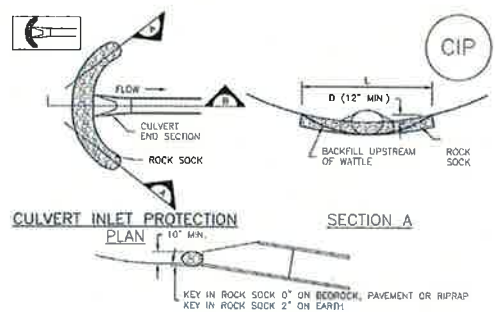
IP-6

Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

August 2013

Inlet Protection (IP)

SC-6



CIP-1. CULVERT INLET PROTECTION

CULVERT INLET PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
 - LOCATION OF CULVERT INLET PROTECTION.
2. SEE ROCK SOCK DESIGN DETAIL FOR ROCK GRADATION REQUIREMENTS AND JOINTING DETAIL.

CULVERT INLET PROTECTION MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF THE CULVERT SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS $\frac{1}{2}$ THE HEIGHT OF THE ROCK SOCK.
5. CULVERT INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.

(DETAILS ADAPTED FROM JORDAN, COLORADO, NOT AVAILABLE IN AUTOCAD)

(NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.)

August 2013

Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

IP-7

SC-6

Inlet Protection (IP)

GENERAL INLET PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
 - LOCATION OF INLET PROTECTION.
 - TYPE OF INLET PROTECTION (IP-1, IP-2, IP-3, IP-4, IP-5, IP-6).
2. INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS). IF A RAINFALL/RUNOFF EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT.

3. MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

INLET PROTECTION MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN STORAGE VOLUME REACHES 50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR $\frac{1}{2}$ OF THE HEIGHT FOR STRAW BALES.
5. INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF INLET PROTECTION IN STREETS.
6. WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAILS ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

(NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.)

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION. HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWAP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.

IP-8

Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

August 2013

8308 COLORADO BLVD
SUITE 200
FIRESTONE, CO 80530
303.833.1416
WWW.CIVILRESOURCES.COM650 INNOVATION CIRCLE
PO BOX 200
WINDSOR, CO 80550COMMERCIAL DEVELOPMENT PLAN
LOT 2 COYLE-VANEGMOND LOT LINE
ADJUSTMENT
PENROSE, FREMONT COUNTY, CO

REVISIONS		
NO	DESCRIPTION	DATE
03	PLANNING REVIEW	10/04/24

DESIGNED BY: RJJ DATE: 02/13/24
 DRAWN BY: RJJ SCALE: AS NOTED
 CHECKED BY: JAB AS NOTED
 JOB NO.: 355.001.02
 DWG NAME: 355.001.02_CVR.dwg

DETAILS 4

SHEET:

C8.3